

# A Journey of Revitalizing Forest Meadow Junior High School Through Innovative Construction and Overcoming Unexpected Challenges

Wednesday, May 8, 2024

GARY AANENSON, CORE CONSTRUCTION  
LE KORTE, RICHARDSON ISD



# Presenters



**LE KORTE**, AIA | NCARB | LEED BD+C  
Executive Director of Facilities  
Planning, Design and Construction  
*Richardson Independent School District*



**GARY AANENSON**  
Executive Vice President  
*CORE Construction*

55 Campuses | 38,000 Students

## 4 Learning Communities



## Middle School Learning Transition



Mitigate space concerns at elementary schools

Provide sixth graders access to wider and advanced academic offerings, extracurricular opportunities in fine arts, athletics, and other areas of interest

## PROJECT OVERVIEW

**CLIENT**  
Richardson ISD

**DESIGNER**  
Perkins + Will

**CONTRACTOR**  
CORE Construction

**\$50M**

**58,305 SF**

Addition & Reconfiguration



**23 Classrooms**



**Weight/Locker Rooms**



**Storm Shelter**



**New Tennis Courts**



**Science Lab Renovation**



**Parking & Site Work**



**Cafeteria Expansion & Kitchen Reconfiguration**



Final Exterior

Rendering of Exterior



# AGENDA

1

**Client Challenges**

2

**Design Challenges**

3

**Contractor Challenges**



# What did the world look like in the 1960's?



FOREST MEADOW JUNIOR HIGH SCHOOL



# What does the world look like today?



**What will the world look like in 2070?**

**How do we take a building from the 1960's and make it flexible enough to adapt to what will come in 2070?**





# Challenges of Community Engagement During COVID

## Virtual Program Planning Committee (PPC) Meetings

- How to handle building adjacencies virtually?
- How to do planning workshops virtually?

## Keeping the Community Informed Throughout the Process

- How could we as a District help keep the community thinking forward during such a time of uncertainty?

## Establish a Middle School

## Budget Challenges

Established Bond 2021 Budgets  
Around 2019 - 2020

Original Budget of Forest Meadow  
\$30M

Drawings went out to bid in  
January 2022

Guaranteed Maximum Price  
\$50M

## DESIGN CHALLENGES

# What is not successful about your building?

No windows or access to outside spaces easily!

More windows and natural light.

interior facelift needed

Difference in feel of F Hall vs. original sides. Wanting new access to technology, new interiors, updated feel.

Outdated

More natural light please!

Not a lot of central locations for students to work in groups.

interior facelift needed

# What is successful about your building?

Easy to navigate around the building.

I love the central location of the library! It is easily accessible on both sides of A and C halls.

Students and staff are awesome!!

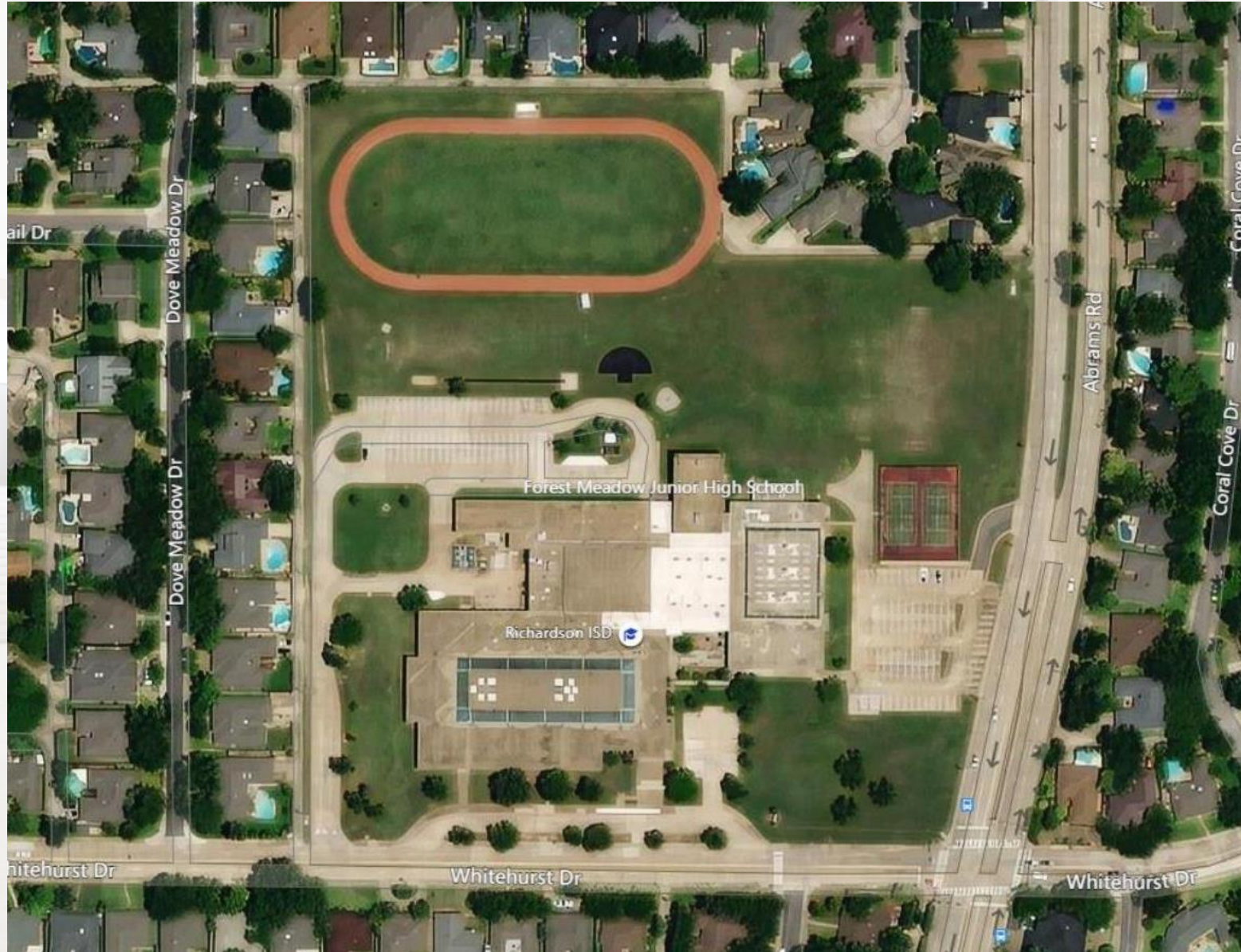
The large gym is great.

I love the openness of the cafeteria. It is a friendly feel that you can access from all over the building!

As a coach, We like the Green space and access to the athletic fields.

No hiding places.

# Existing Site Plan



# Proposed Site Plan

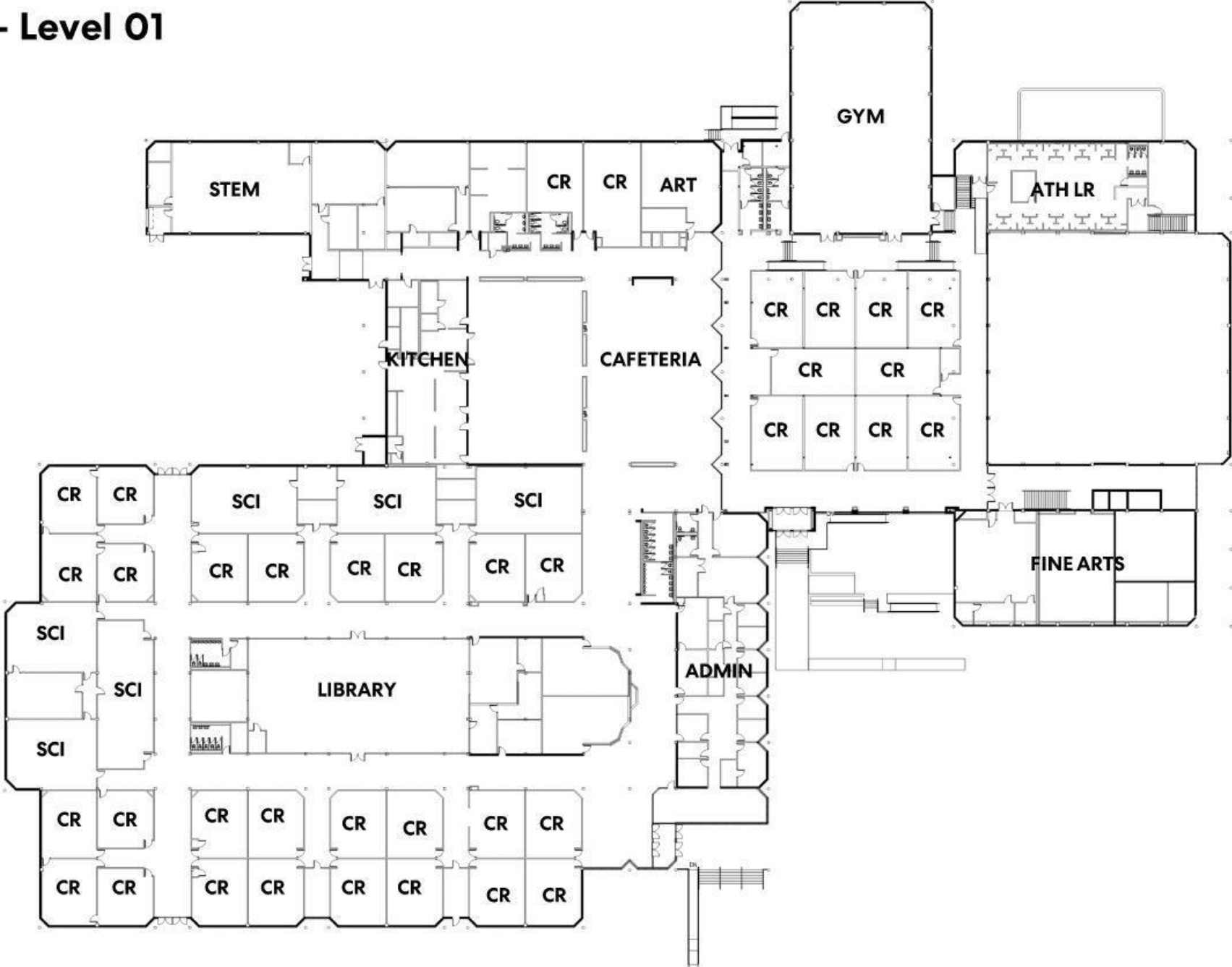
- 01** Main Entry
- 02** North Entry
- 03** East Entry
- 04** Vehicular Entry
- 05** Play Field
- 06** Tennis Courts
- 07** Parking



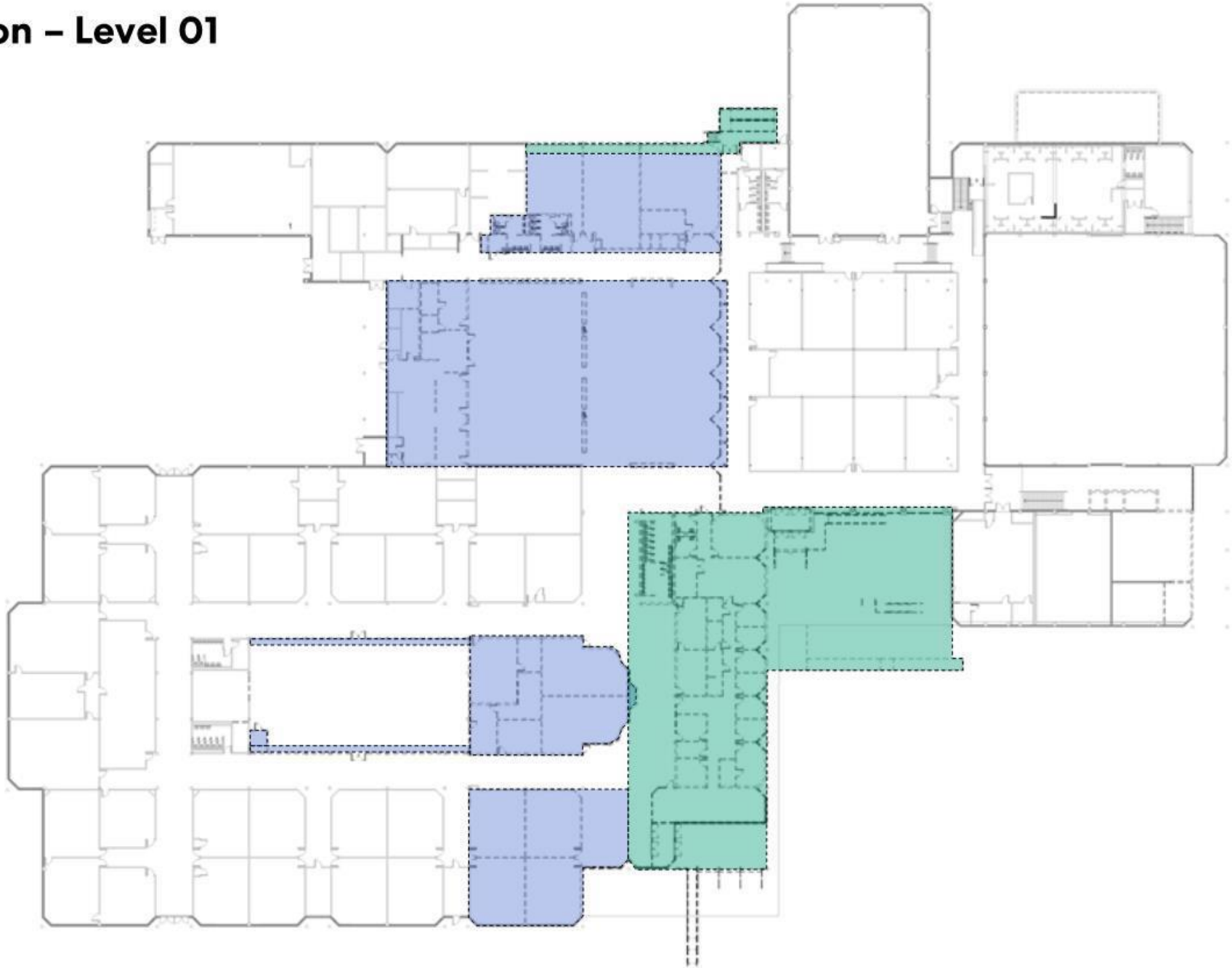
# Market in the Meadow





# Existing Floor Plan - Level 01



# Proposed Demolition - Level 01



 = Exterior Demolition  
 = Interior Demolition



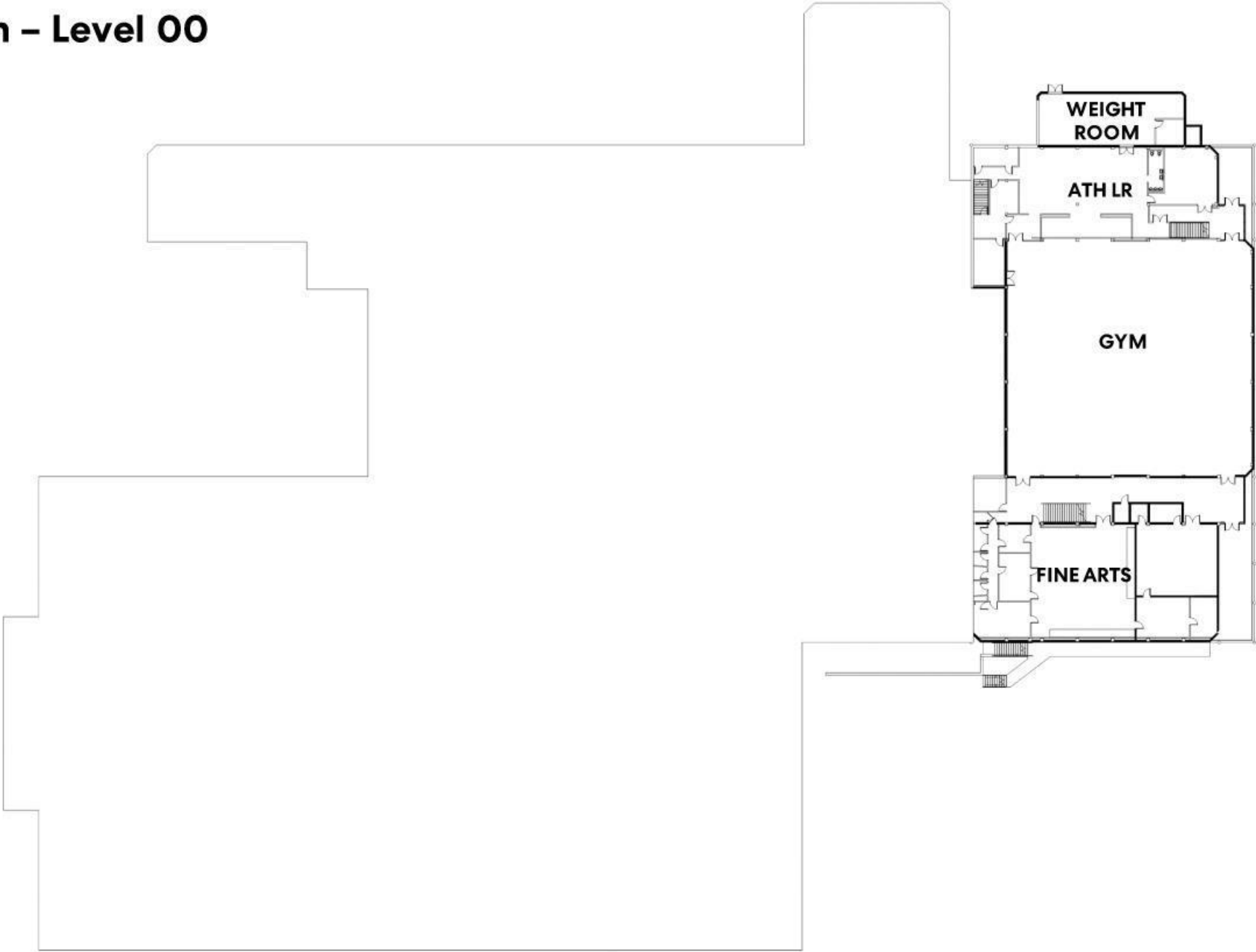
# Floor Plan – Level 01



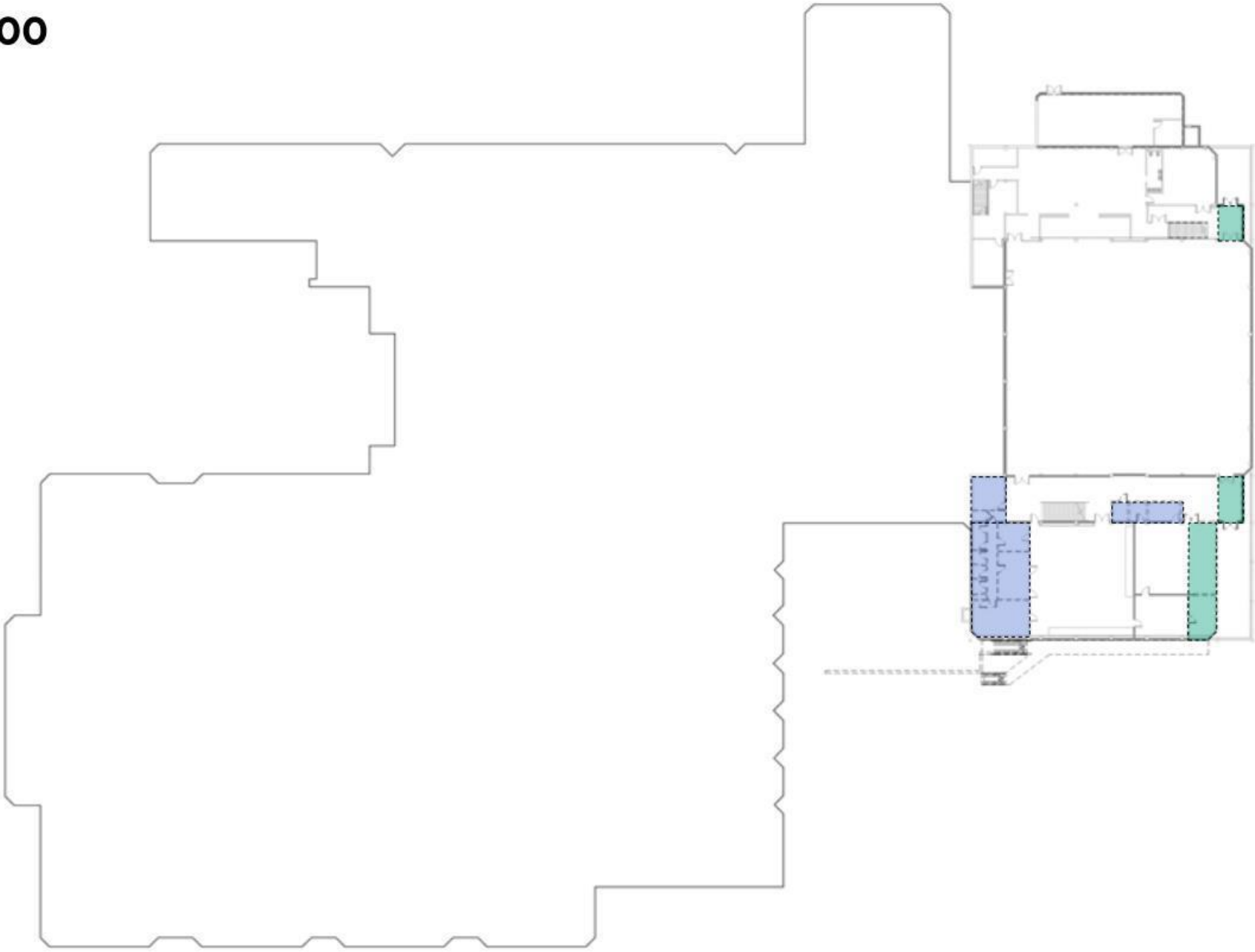
### Color Key



- = Fine Arts
- = Athletics
- = Administration
- = Academics
- = Dining / Kitchen
- = Support
- = Circulation / Collaboration

# Existing Floor Plan – Level 00



# Demolition – Level 00



 = Exterior Demolition  
 = Interior Demolition

# Floor Plan – Level 00

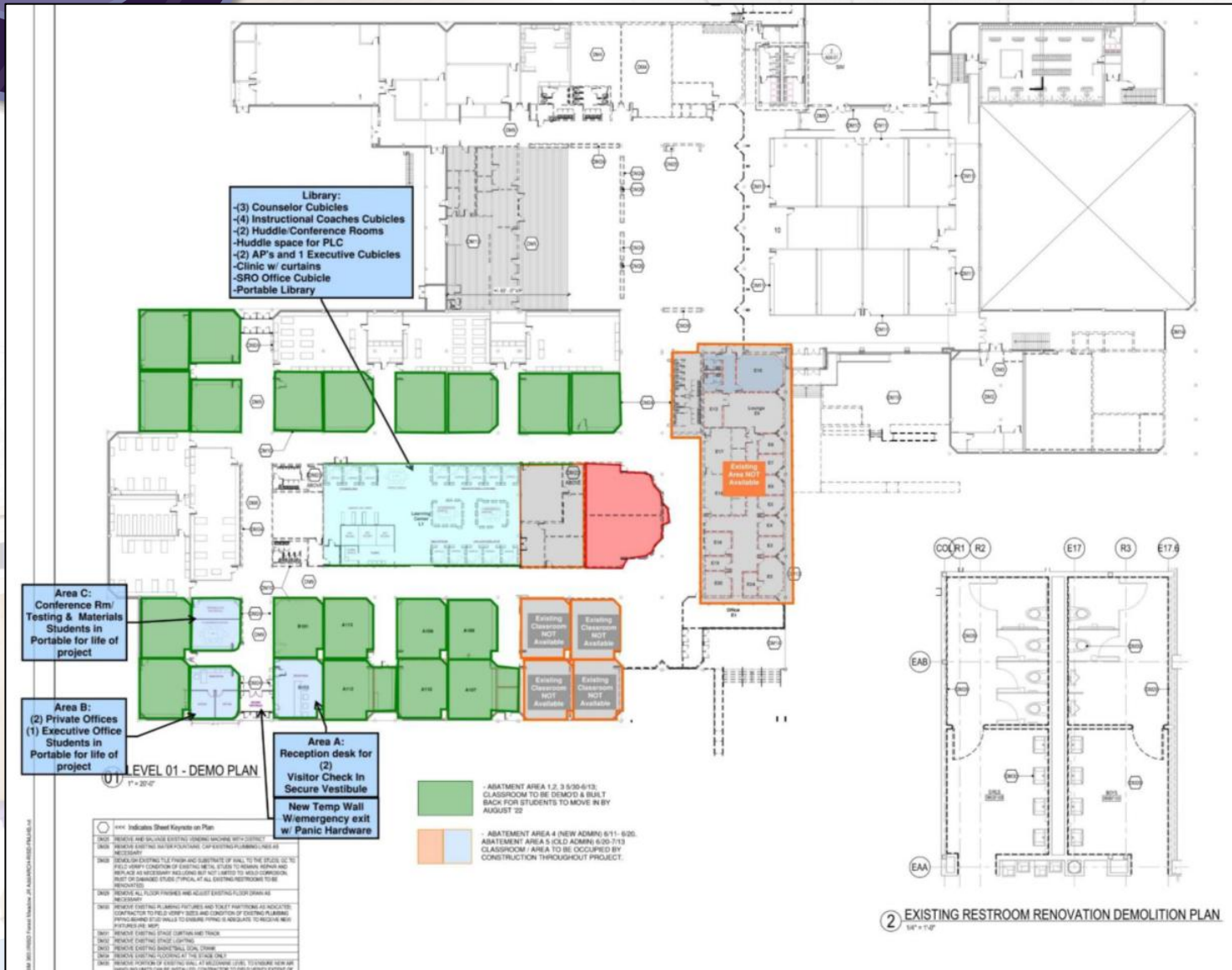


## Color Key

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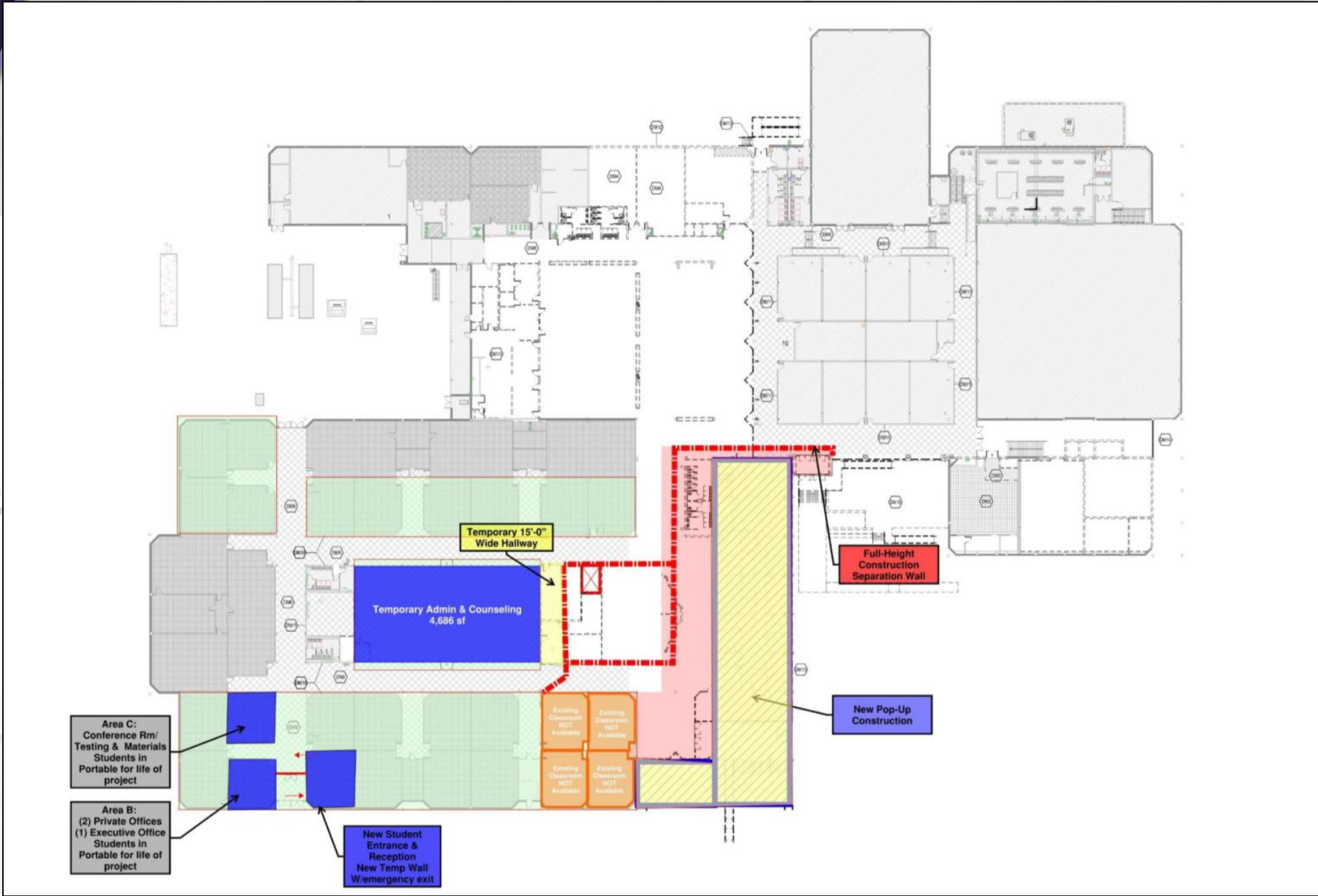
# CONTRACTOR CHALLENGES

# Phasing Plans



# Phase 1A - Interior Mobilization/Renovation

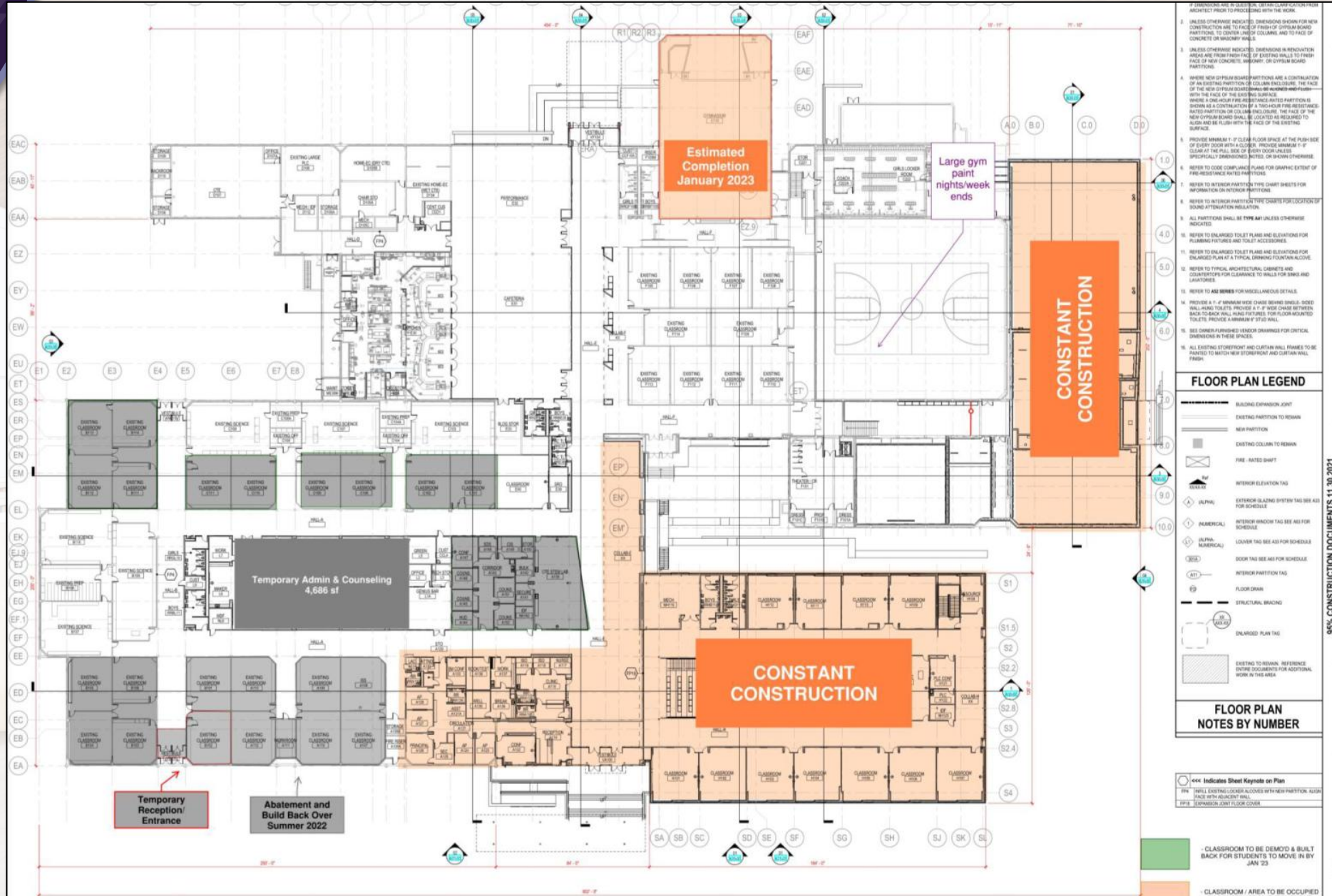
June 2022 - August 2022





# Phase 2 – 2-Story Classroom Wing & Athletics

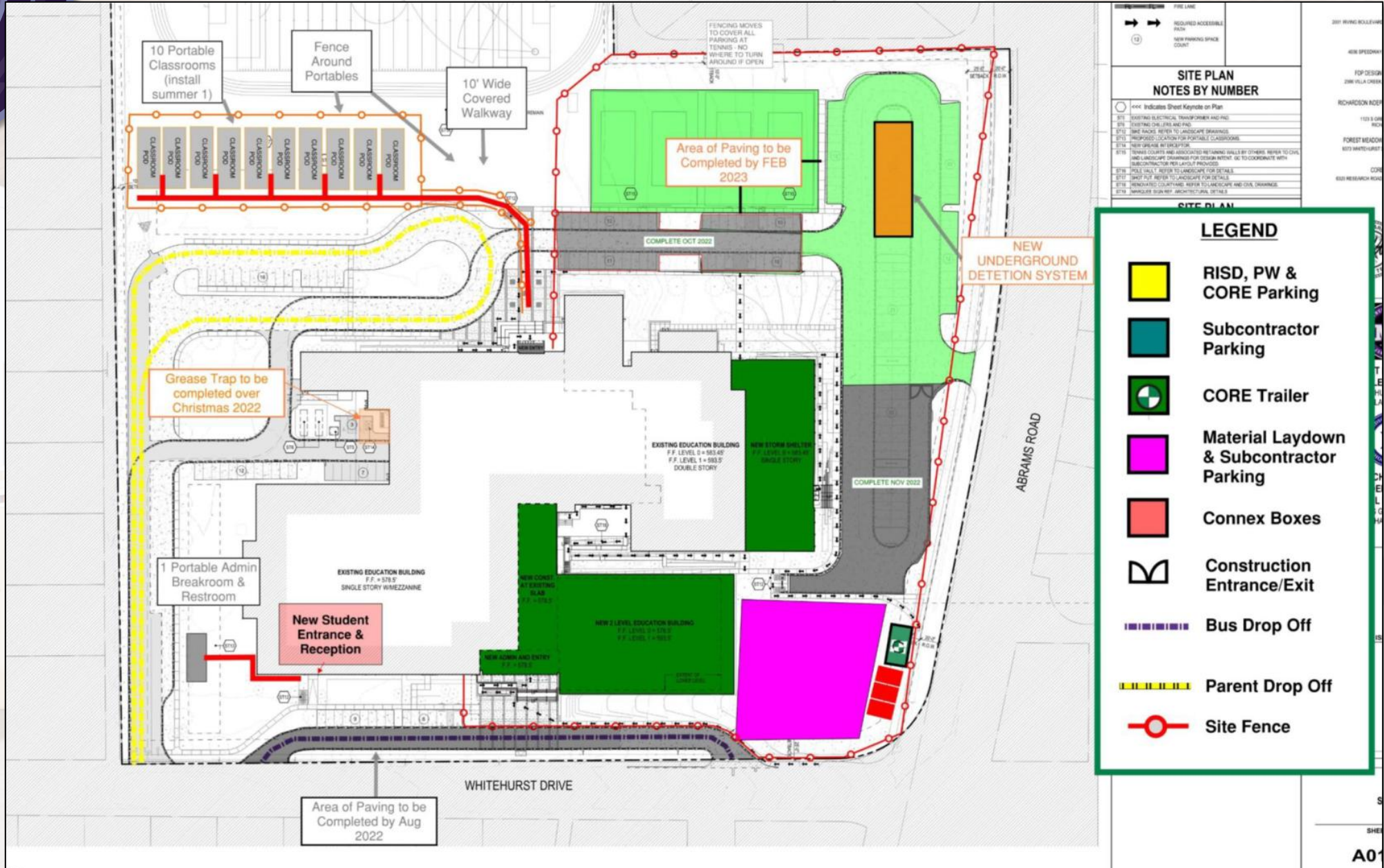
July 2022 – December 2023 \*Contingency Upon Building Permit





# Phase 2 - Site Work - Thanksgiving & Christmas Renovation

November 2022 - January 2023



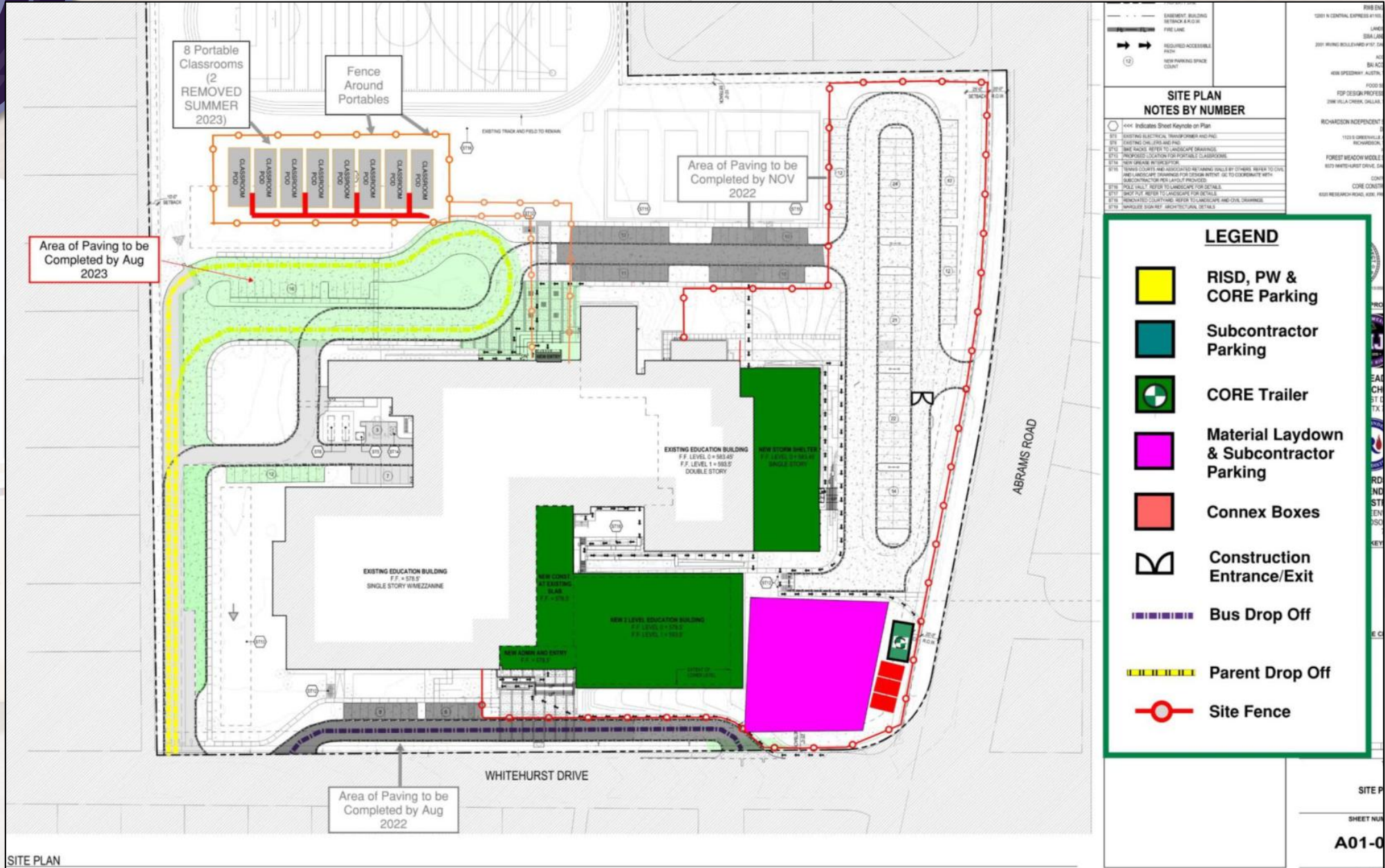
SITE PLAN NOTES BY NUMBER	
①	Indicates Sheet Keynote on Plan
01	EXISTING ELECTRICAL TRANSFORMER AND PAD
02	EXISTING CH. LEAK AND PAD
03	NEW PADDE. REFER TO LANDSCAPE DRAWINGS
04	PROPOSED LOCATION FOR PORTABLE CLASSROOMS
05	NEW GRADE. NO SLOPE
06	TRIMM COURTS AND ASSOCIATED RETAINING WALLS BY OTHERS. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR DESIGN INTENT. GC TO COORDINATE WITH SUBCONTRACTOR FOR LANDSCAPE FINISHES
07	WALL SALLY. REFER TO LANDSCAPE FOR DETAILS
08	WALL P.F. REFER TO LANDSCAPE FOR DETAILS
09	RENDERED COURTYARD. REFER TO LANDSCAPE AND CIVIL DRAWINGS
10	IMMEDIATE SURVEY ARCHITECTURAL DETAILS

LEGEND	
	RISD, PW & CORE Parking
	Subcontractor Parking
	CORE Trailer
	Material Laydown & Subcontractor Parking
	Connex Boxes
	Construction Entrance/Exit
	Bus Drop Off
	Parent Drop Off
	Site Fence

# Phase 2A - Site Work View

June 2023 - August 2023

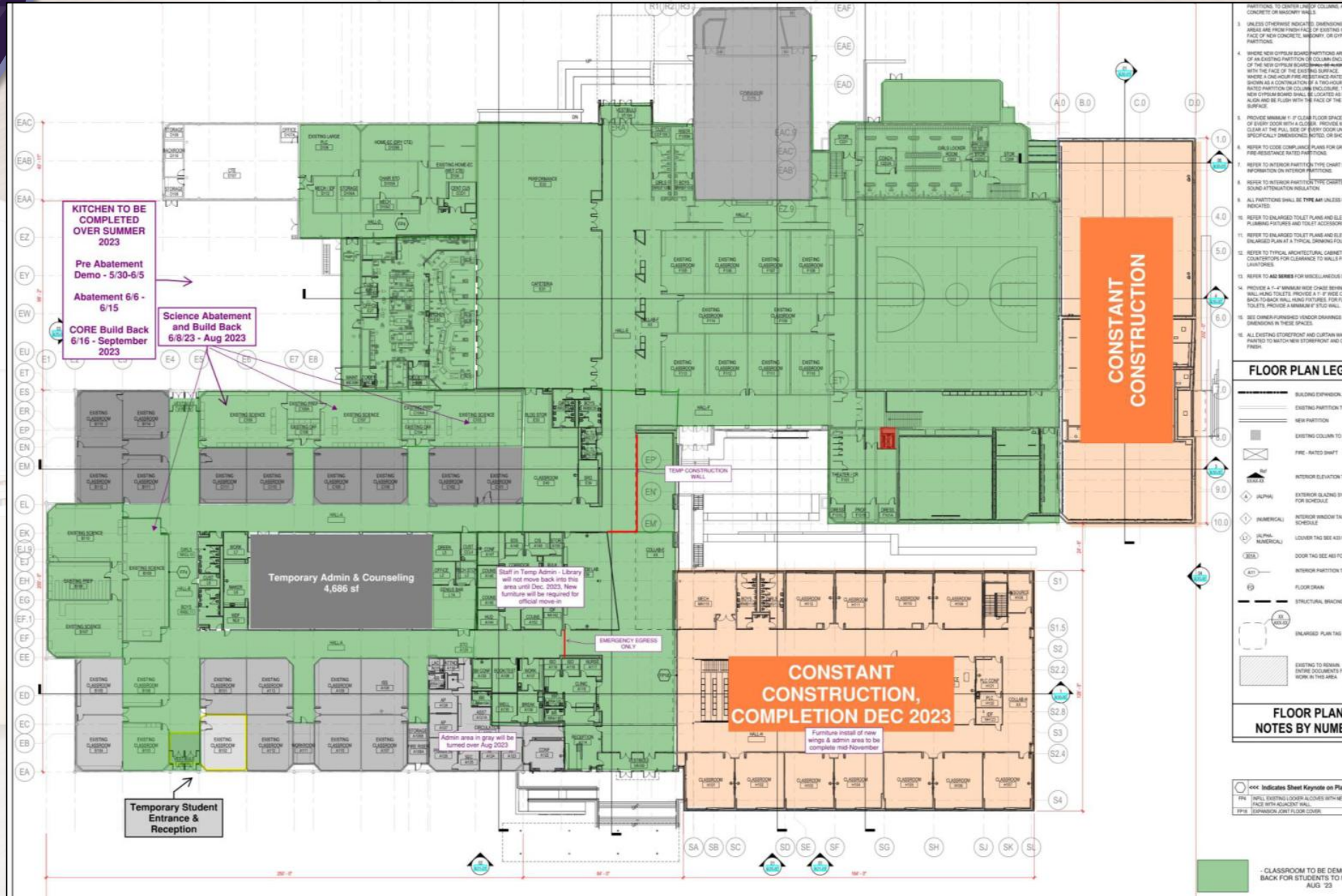


SITE PLAN NOTES BY NUMBER	
1	INDICATES SHEET KEYNOTE ON PLAN
2	EXISTING ELECTRICAL TRUNKING AND PIPING
3	EXISTING CHASES AND PIPING
4	TRAIL MARKS REFER TO LANDSCAPE DRAWINGS
5	PROPOSED LOCATION FOR PORTABLE CLASSROOMS
6	REFER URBAN INFRASTRUCTURE
7	TRANSFORM COUNTY AND ASSOCIATED RETAINING WALLS BY OTHERS. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR OTHER INTENT. GO TO COORDINATE WITH SUBCONTRACTOR FOR LANDSCAPE PROVISIONS
8	TRAIL MARKS REFER TO LANDSCAPE FOR DETAILS
9	TRAIL MARKS REFER TO LANDSCAPE FOR DETAILS
10	PROPOSED COURTPATHS REFER TO LANDSCAPE AND CIVIL DRAWINGS
11	MANUALS FOR REF. ARCHITECTURAL DETAILS

LEGEND	
	RISD, PW & CORE Parking
	Subcontractor Parking
	CORE Trailer
	Material Laydown & Subcontractor Parking
	Connex Boxes
	Construction Entrance/Exit
	Bus Drop Off
	Parent Drop Off
	Site Fence

# Phase 2A - Remaining Interior Renovation & Roofing

June 2023 - August 2023



**KITCHEN TO BE COMPLETED OVER SUMMER 2023**  
 Pre Abatement Demo - 5/30-6/5  
 Abatement 6/6 - 6/15  
 CORE Build Back 6/16 - September 2023

**Science Abatement and Build Back 6/8/23 - Aug 2023**

**Temporary Admin & Counseling 4,686 sf**

Staff in Temp Admin - Library will not move back into this area until Dec. 2023. New furniture will be required for official move-in

**Temporary Student Entrance & Reception**

**CONSTANT CONSTRUCTION, COMPLETION DEC 2023**

Furniture install of new wings & admin area to be complete mid-November

**CONSTANT CONSTRUCTION**

### FLOOR PLAN LEG

- BUILDING EXPANSION
- EXISTING PARTITION
- NEW PARTITION
- EXISTING COLUMN TO
- FIRE - RATED SHAFT
- (ALPHA) INTERIOR ELEVATION
- (ALPHA) EXTERIOR GLAZING BY FOR SCHEDULE
- (ALPHA) INTERIOR WINDOW IN SCHEDULE
- (ALPHA) LOWER TAG SEE A33
- (ALPHA) DOOR TAG SEE A33
- (ALPHA) INTERIOR PARTITION
- (ALPHA) FLOOR DRAIN
- (ALPHA) STRUCTURAL BRACING
- (ALPHA) ENLARGED PLUMBING
- (ALPHA) EXISTING TO REMAIN ENTIRE DOCUMENTS WORK IN THIS AREA

### FLOOR PLAN NOTES BY NUMBER

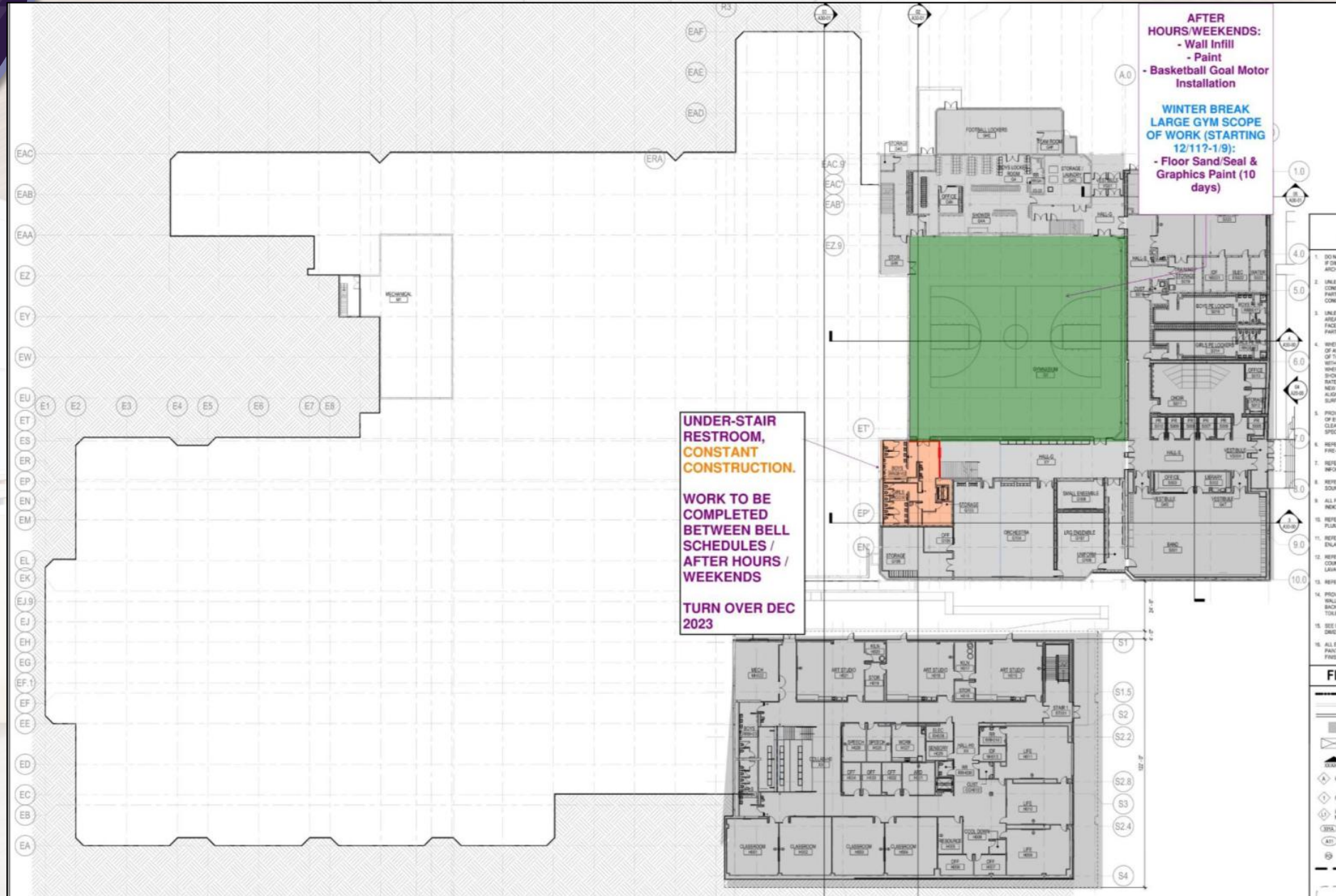
- 1. PARTITIONS TO CENTER LINE OF COLUMN OR CONCRETE OR MASONRY WALL
- 2. UNLESS OTHERWISE INDICATED DIMENSIONAL AREAS ARE FROM FINISH FACE OF EXISTING OR FACE OF NEW CONCRETE, MASONRY, OR GYP PARTITIONS
- 3. WHERE NEW GYP PARTITIONS ARE OF AN EXISTING PARTITION OR COLUMN END OF THE NEW GYP PARTITION SHALL BE WITH THE FACE OF THE EXISTING SURFACE UNLESS A ONE HOUR FIRE RESISTANCE RATED PARTITION OR COLUMN ENCLOSED. NEW GYP PARTITIONS SHALL BE LOCATED AS ALIGNED AND BE FLUSH WITH THE FACE OF THE SURFACE
- 4. PROVIDE MINIMUM 1" OF CLEAR FLOOR SPACE OF ENTRY DOOR WITH A CLOSER. PROVIDE CLEARANCE AT THE HALL SIDE OF ENTRY DOOR AS SPECIFICALLY DIMENSIONED, NOTED, OR SHOWN
- 5. REFER TO CODE COMPLIANCE PLANS FOR ONE HOUR FIRE RESISTANCE RATED PARTITIONS
- 6. REFER TO INTERIOR PARTITION TYPE CHART INFORMATION ON INTERIOR PARTITIONS
- 7. REFER TO INTERIOR PARTITION TYPE CHART SOUND ATTENUATION INSULATION
- 8. ALL PARTITIONS SHALL BE TYPE AND UNLESS NOTED
- 9. REFER TO ENLARGED TOILET PLANS AND ELS PLUMBING FIXTURES AND TOILET ACCESSORY
- 10. REFER TO ENLARGED TOILET PLANS AND ELS ENLARGED PLAN AT A TYPICAL SINKING FOR TOILETS. PROVIDE A MINIMUM 8" STUD WALL
- 11. REFER TO TYPICAL ARCHITECTURAL CABINET COUNTERTOPS FOR CLEARANCE TO WALLS & LAUNDRY
- 12. REFER TO ADD BENCHES FOR MISCELLANEOUS
- 13. PROVIDE A 4" MINIMUM RISE CHAIR BEHIND WALKING TOILETS. PROVIDE A 1" RISE BACK TO BACK WALL HANG FIXTURES FOR TOILETS. PROVIDE A MINIMUM 8" STUD WALL
- 14. SEE COMB-FURNISHED VENDOR DRAWINGS DIMENSIONS IN THESE SPACES
- 15. ALL EXISTING STOREFRONT AND CURTAIN WALLS PAINTED TO MATCH NEW STOREFRONT AND CURTAIN WALLS

--- CLASSROOM TO BE DEMO BACK FOR STUDENTS TO AUG '23



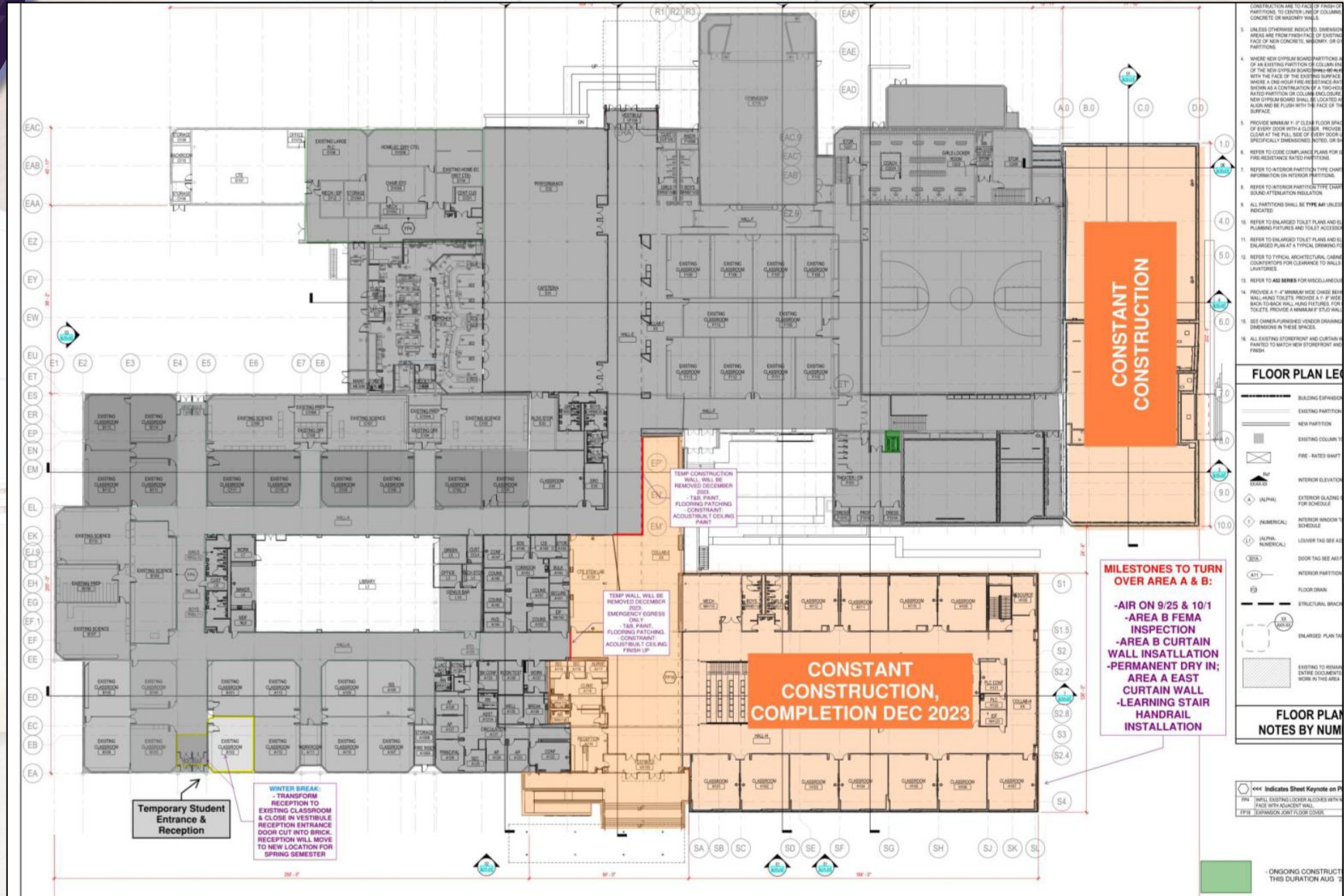
# Phase 2B – Remaining Interior Renovation – Level 00

August 2023 – January 2023



# Phase 2B – Remaining Interior Renovation – Level 01

August 2023 – January 2023



1. CONSTRUCTION ARE TO FACE OF FINISH OF PARTITIONS TO CENTERLINE OF COLUMN, CONCRETE OR MASONRY WALLS.
2. UNLESS OTHERWISE INDICATED, DIMENSION BREAKS ARE FROM FINISH FACE OF EXISTING FACE OF NEW CONCRETE, MASONRY, OR PARTITIONS.
3. PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE OF EVERY DOOR WITH A CLEARANCE PROVIDED CLEAR AT THE FULL SIZE OF EVERY DOOR. SPECIFICALLY DIMENSIONS NOTED, OR 54".
4. REFER TO CODE COMPLIANCE PLANS FOR FIRE RESISTANCE RATED PARTITIONS.
5. REFER TO INTERIOR PARTITION TYPE CHART INFORMATION ON INTERIOR PARTITIONS.
6. REFER TO INTERIOR PARTITION TYPE CHART SOUND ATTENUATION INFORMATION.
7. ALL PARTITIONS SHALL BE TYPE A4 UNLESS INDICATED.
8. REFER TO ENLARGED TOILET PLANS AND ENLARGED PLUMBING FIXTURES AND TOILET ACCESSIBLE ENLARGED PLANS AT A TYPICAL DRAWING FOR TOILETS.
9. REFER TO TYPICAL ARCHITECTURAL CABING COUNTERTOPS FOR CLEARANCE TO WALLS/LAVATORIES.
10. REFER TO ALL SERIES FOR MISCELLANEOUS.
11. PROVIDE A 4'-0" MINIMUM WIDE CHASE BEHIND WALLS AND TOILETS PROVIDE A 4" WIDE BACK-TO-BACK WALL HAND FIXTURES. FOR TOILETS PROVIDE A MINIMUM 4" STUD WALL.
12. SEE CHANGES/ISSUES/VIOLATION DRAWING DIMENSIONS IN THESE SPACES.
13. ALL EXISTING STOREFRONT AND CURTAIN ARE SHOWN TO MATCH NEW STOREFRONT AND FINISH.

### FLOOR PLAN LEGEND

- BUILDING EXPANSION
- EXISTING PARTITION
- NEW PARTITION
- EXISTING COLUMN TAG
- FIRE RATED GRAFT
- INTERIOR ELEVATION
- EXTERIOR GLAZING FOR SCHEDULE
- INTERIOR WINDOW TAG SCHEDULE
- LOUVER TAG SEE AREA A
- DOOR TAG SEE AREA A
- INTERIOR PARTITION
- FLOOR DRAIN
- STRUCTURAL BRACK
- ENLARGED PLAN TAG
- EXISTING TO REPAIR EXISTING DOCUMENTS WORK IN THIS AREA

### FLOOR PLAN NOTES BY NUMBER

- 1. Indicates Steel Keynote on Plan
- 2. HALL EXISTING LOWER ACCESSIBLE RAMP FACE WITH ADJACENT WALL
- 3. EXPANSION JOINT FLOOR COVER

ONGOING CONSTRUCTION THIS DURATION AUG 2023

**MILESTONES TO TURN OVER AREA A & B:**

- AIR ON 9/25 & 10/1
- AREA B FEMA INSPECTION
- AREA B CURTAIN WALL INSATLLATION
- PERMANENT DRY IN; AREA A EAST CURTAIN WALL
- LEARNING STAIR HANDRAIL INSTALLATION

**CONSTANT CONSTRUCTION, COMPLETION DEC 2023**

TEMP CONSTRUCTION WALL WILL BE REMOVED DECEMBER 2023  
-T&B PAINT, FLOORING PATCHING CONSTRAINT, ADJUSTABLE CEILING FINISH UP

TEMP WALL WILL BE REMOVED DECEMBER 2023  
EMERGENCY EXPRESS ONLY  
-T&B PAINT, FLOORING PATCHING CONSTRAINT, ADJUSTABLE CEILING FINISH UP

Temporary Student Entrance & Reception

WINTER BREAK - TRANSFORM RECEPTION TO EXISTING CLASSROOM & CLOSE IN VESTIBULE RECEPTION ENTRANCE DOOR CUT INTO BRICK. RECEPTION WILL MOVE TO NEW LOCATION FOR SPRING SEMESTER.

# Phase 2A - Site Work View

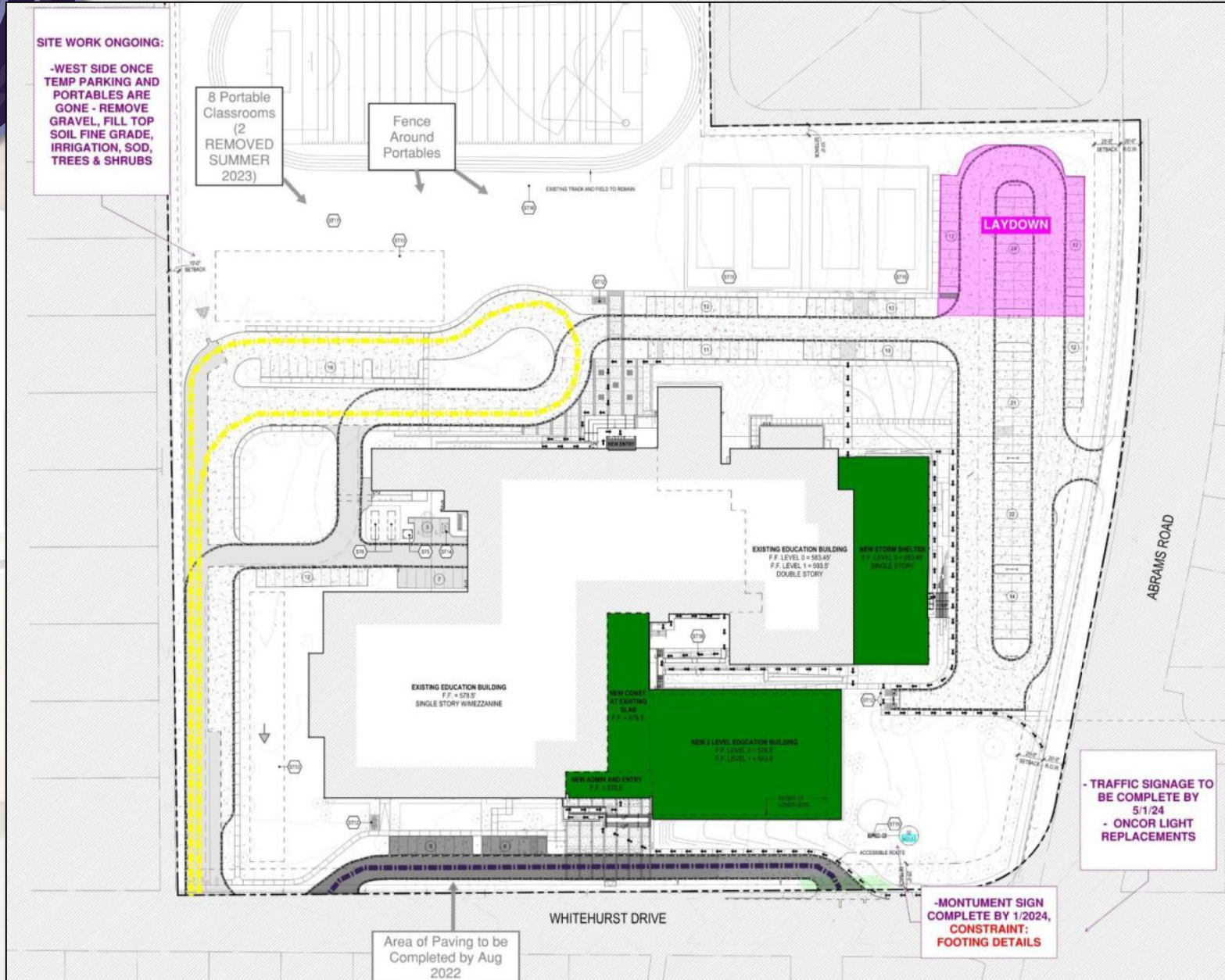
January 2024 - May 2024

### SITE WORK ONGOING:

-WEST SIDE ONCE TEMP PARKING AND PORTABLES ARE GONE - REMOVE GRAVEL, FILL TOP SOIL FINE GRADE, IRRIGATION, SOD, TREES & SHRUBS

8 Portable Classrooms (2 REMOVED SUMMER 2023)

Fence Around Portables



-MONTUMENT SIGN COMPLETE BY 1/2024, CONSTRAINT: FOOTING DETAILS

- TRAFFIC SIGNAGE TO BE COMPLETE BY 5/1/24  
- ONCOR LIGHT REPLACEMENTS

	NEWLY SODDED OR LANDSCAPED AREA
	PROPERTY LINE
	EASEMENT, BUILDING SETBACK & R.O.D. OR FIRE LANE
	REQUIRED ACCESSIBLE PATH
	NEW PARKING SPACE COUNT

### SITE PLAN NOTES BY NUMBER

1004	Indicates Sheet Keynote on Plan
810	EXISTING ELECTRICAL W/WORKMAN AND PAD
811	EXISTING ONE LINE AND PAD
812	ONE LINE REFER TO LANDSCAPE DRAWINGS
813	PROPOSED LOCATION FOR PORTABLE CLASSROOMS
814	NEW SERVICE W/WORKMAN
815	TRIMME COURTS AND ASSOCIATED REMAINING SHALL BY OTHERS, REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR COORDINATION. USE TO COORDINATE WITH SUBCONTRACTOR PER LAYOUT PROVIDED.
816	POLE ONLY, REFER TO LANDSCAPE FOR DETAILS
817	SHORT PILE, REFER TO LANDSCAPE FOR DETAILS
818	INDICATED COURTYARD, REFER TO LANDSCAPE AND CIVIL DRAWINGS
819	TRIANGLE SIGN REF. ARCHITECTURAL DETAILS

### LEGEND

- RISD, PW & CORE Parking
- Subcontractor Parking
- CORE Trailer
- Material Laydown & Subcontractor Parking
- Connex Boxes
- Construction Entrance/Exit
- Bus Drop Off
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- Site Fence

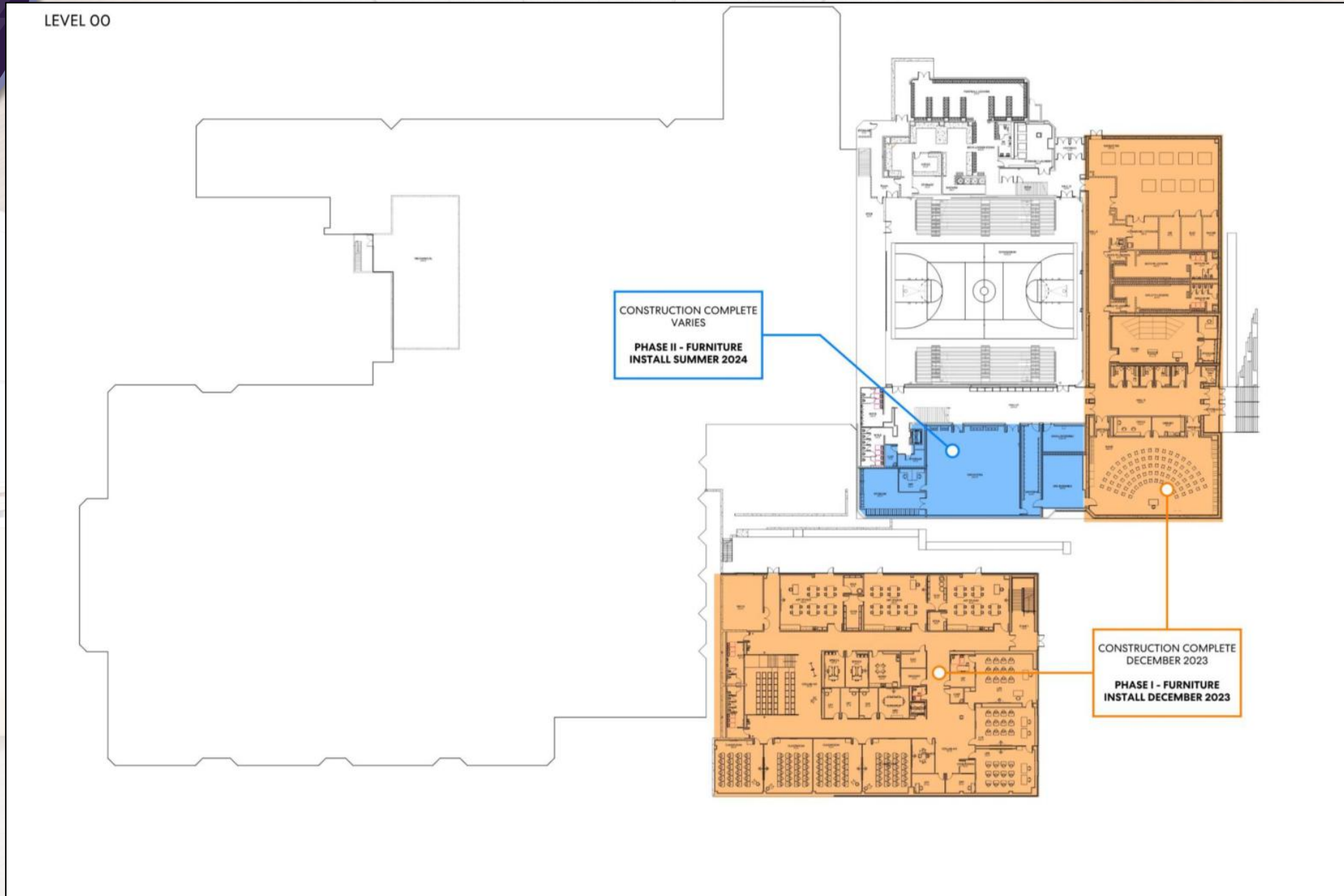




What phase is this?  
What date?



What phase is this?  
What date?



PRINCIPAL SUSAN BURT

**2022-2023 Principal  
of the Year!**



## CONTRACTOR CHALLENGES

Footi\$his...

**IN ONE SUMMER!**



# Unique Features



**Waterproofed  
Temporary Wall**



**Storm Shelter Tie-in to  
Existing Building**



**Abatement of an  
Occupied Campus**



**Elevator Installation  
to Existing Building**

# THANK YOU!



**CORE**